



CITY OF LAKE ELSINORE

COLLIER COMMERCIAL PROPERTIES

GENERAL NOTES

- All work shall be done in accordance with the City of Lake Elsinore Ordinances No. 801 and 882 and applicable standards and specifications and the latest edition of the U.B.C., Chapter 33
- A permit shall be obtained from the Engineering Department, City of Lake Elsinore, prior to any operation.
- The developer and/or contractor shall notify all utility companies and U.S.A. ALERT (1-800-227-2600) 48 hours prior to grading.
- The contractor shall notify the City Engineering Department as least 24 hours in advance of beginning grading operations.
- Dust shall be controlled by watering or other methods approved by the City Engineer.
- Cut slopes shall be no steeper than 2 horizontal to 1 vertical, unless otherwise approved, and shall be shown on the plan.
- Fill slopes shall be no steeper than 2 horizontal to 1 vertical, unless otherwise approved, shall be shown on plan, and shall not have less than 90% compaction out to the finished surface.
- Fills shall be compacted throughout to 90% density as determined by modified three layer A.S.T.M. D-1557-70 test method.
- Fill areas shall be cleaned of all vegetation and debris, scarified, and inspected by the grading inspector and approved by soils testing agency prior to the placement of fill.
- All fill material shall be clean earth. No fill shall be placed until preparation of ground is approved by the soils engineer.
- Finish grade shall be sloped away from all exterior walls at not less than 1/4" per foot for a minimum of 3', then 1/8" (minimum) to flowline of earth swale.
- Minimum building pad and drainage swale slope shall be 1/8" if cut slope is less than 10', and 2% if cut or fill is greater than 10'. Drainage s shall be a minimum of 0.5' deep and constructed a minimum of 2' from top of cut or fill slopes.
- Provide 5' wide by 1' high berm or equivalent along the top of all fill slope over 5' high.
- Provide a brow ditch, designed to handle 100 year storm flows along the top of cut slopes.
- No obstruction of flood plains or natural water courses shall be permitted
- A soils engineer shall be retained by the developer, to supervise grading and provide a final soils report, which includes foundation requirements (subdivisions) and expansive characteristics of the soil.
- Grading certification by the developer's civil engineer and a final compaction report by a soils engineer shall be submitted to the building and engineering departments prior to issuance of building permits.
- The soils engineering investigation dated _____ prepared by _____ and the engineering geotechnical investigation dated _____ prepared by _____ shall be considered a part of this grading plan, and shall be complied with.
- A registered civil engineer or licensed land surveyor shall submit certification of building pad elevation. Where specific elevations are required, the elevation (with respect to mean sea level) shall be given. If an elevation with respect to adjacent ground surface is required, the actual distance above the adjacent ground shall be given.
- All property corners shall be clearly delineated in the field prior to commencement of any construction/grading.
- Stability calculations with a factor of at least 1.5 shall be submitted by a soils engineer to the Building and Engineering Departments for cut and fill slopes over 30' in vertical height.
- A final compaction report will be required for all fills greater than one foot.
- If steep sloping terrain occurs upon which fill is to be place, it must be cleared, keyed, and benched into firm natural soil for full support. Preparation shall be approved by a registered soils engineer prior to placement of fill material. Slopes greater than 5:1 are required to be keyed and benched.
- The soil engineer should inspect the construction in the following stages:
 - Upon completion of clearing and during excavation and before backfill of alluvial, colluvial and terraced areas and any substructures.
 - During all rough grading and operations including pre-compaction, benching and filling operations.
 - During installation of buttress and canyon sub-drains and filter material.
 - When any unusual grading conditions are encountered during construction.
- Erosion Control: All graded slopes shall be planted with rosea ice plant at 12" on centers or another approved ground cover. Slopes over 15' in vertical height, in addition to ground cover, shall be planted with approved trees, shrubs or combinations thereof. Shrubs shall be planted at 10' on centers; trees 20' on center; combinations, 15' on centers. Slopes over 3' in vertical height shall have permanent irrigation systems with backflow prevention devices per U.B.C., Chapter 70.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
- Approved erosion preventative devices shall be provided and maintained during the rainy season and shall be in place at the end of each day's work.
- All work shall conform to the City and State construction safety orders.
- The location and protection of all utilities is the responsibility of the permittee.
- An approved set of grading plans shall be on the job site at all times.
- Sanitary facilities shall be maintained on the site from beginning to completion of grading operation.
- All slopes shall be planted and irrigation facilities shall be provided for all slopes in excess of 3 feet vertical height within 90 days after completion of the rough grading and shall be in accordance with ordinance No. 882 prior to the approval of final inspection.

- Any contractor performing work on this project shall familiarize himself with the site and be solely responsible for any damage to existing facilities resulting, directly or indirectly from his operations, whether or not such facilities are shown on these plans.
- The design engineer shall provide a minimum of one blue top per finished pad, prior to rough grade approval.
- Approximate date of: Beginning operation: _____ Completion : _____
- No rock or other irreducible material with a maximum dimension greater than 3" will be placed in fills within roadbed areas or 3' of finish grades, unless the location, materials, and disposal methods are specifically approved by the soils engineer.
- The engineer must set grade stakes for all drainage devices and obtain inspection before approval.
- Grading plans will not be approved until all retaining walls are approved by the Building Department.
- This site has obtained a National Pollution Prevention Elimination System (NPDES) permit to regulate municipal and industrial storm water discharges.
NPDES WQID # _____ DATE PERMIT ISSUED: _____
- Drainage easements will be kept clear of all obstructions. No buildings or walls shall be placed within easement limits. Temporary improvements are subject to removal at owner's expense.

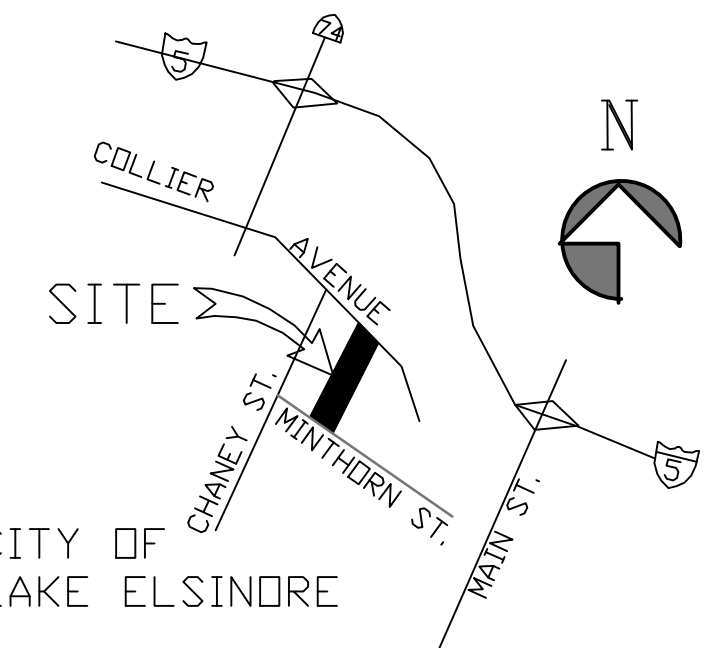
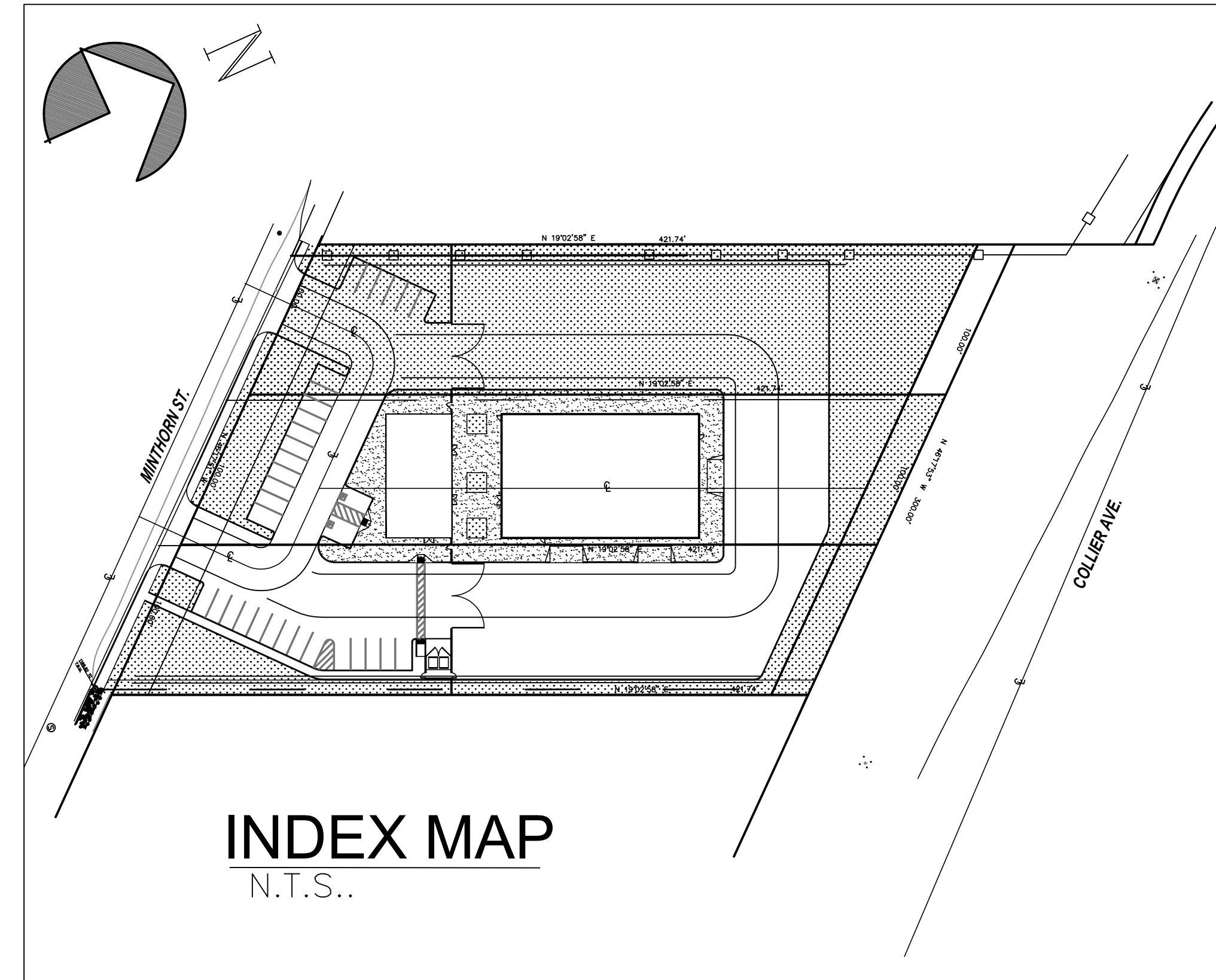
PAVING NOTES:

- MINIMUM PARKING LOT GRADE SHALL BE 1
- MINIMUM GRADE FOR RIBBON DRAINS SHALL BE 0.35 %.
- AN APPROVED SOIL STERILIZER SHALL BE USED ON ALL SUBGRADE SURFACES PRIOR TO PLACEMENT OF PAVING.
- ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NOT LESS THAN FOURTEEN DAYS FOLLOWING PLACEMENT OF THE ASPHALTIC SURFACING AND SHALL BE APPLIED AT A RATE OF 0.05 GALLONS PER SQUARE YARD. ASPHALT EMULSION SHALL CONFORM TO SECTION 37, 39 AND 94 OF THE STATE STANDARD SPECIFICATIONS.
- THE SUBDIVIDER OR CONTRACTOR SHALL APPLY TO THE CITY ENGINEERING DEPARTMENT FOR AN ENCROACHMENT PERMIT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- A COMPACTION REPORT BY A SOILS ENGINEER SHALL CERTIFY 95% COMPACTION OF BASE PRIOR TO CALLING FOR SECOND INSPECTION AND PLACEMENT OF ASPHALT PAVING.
- TWO SPECIAL INSPECTIONS ARE REQUIRED BY THE CITY ENGINEERING DEPARTMENT. ONE INSPECTION AT THE TIME THE BASE IS PLACED AND THE SECOND WHEN A.C. HAS BEEN PLACED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA, AND RELOCATION AND COST OF ALL EXISTING UTILITIES. THE CITY SHALL BE INFORMED 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION AT (909) 674-3124.

APPROXIMATE EARTHWORK QUANTITIES:

CUT: 280 CU. YDS. FILL : 1,000 CU.YDS.
IMPORT=720 CU. YDS.

The above quantities do not reflect any shrinkage, swelling, subsidence, over excavation or any special conditions that may be specified in the preliminary soils report and are for reference and fee purposes only. Since the engineer cannot control the exact method or means used by the contractor during grading operations, nor can the engineer guarantee the exact soil condition over the entire site, the engineer assumes no responsibility for final earth work quantities. The contractor shall be responsible for determining his own earthwork quantities for contract and construction purposes. If it appears there will be an excess or shortage of material, the contractor may notify the engineer to determine if possible grade adjustments can be made to alleviate said material excess or shortage.



SHEET INDEX	
TITLE SHEET	SHEET 1
PRECISE GRADING PLAN	SHEET 2

OWNER: COLLIER COMMERCIAL PROPERTIES 29400 Enterprise Way LAKE ELSINORE, CA 92346 (909) 362-4932	TOPOGRAPHIC SURVEY BY: JAMES WILLIAMS, L.S.7432 9965 Walnut Tree Lane YUCAIPA, CA 92399 (909) 709-8131 Date: JUNE, 2021
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LEGEND

T.C.	Top of Curb	C.F.
F.L.	Flowline	T.P.
F.S.	Finished Surface	P.P.
G.B.	Grade Break	F.G.
T.W.	Top Wall	T.G.
T.B.	Top of Bench	C.M.U.
C.F.	Curb Face	L.P.
T.P.	Top of Pavement	H.P.
P.P.	Power Pole	E.P.
F.G.	Finished Grade	
T.G.	Top of Grate	
C.M.U.	Cement Mortar Units	
L.P.	Low Point	
H.P.	High Point	
E.P.	Edge of Pavement	
	CONCRETE	
	ASHALT	

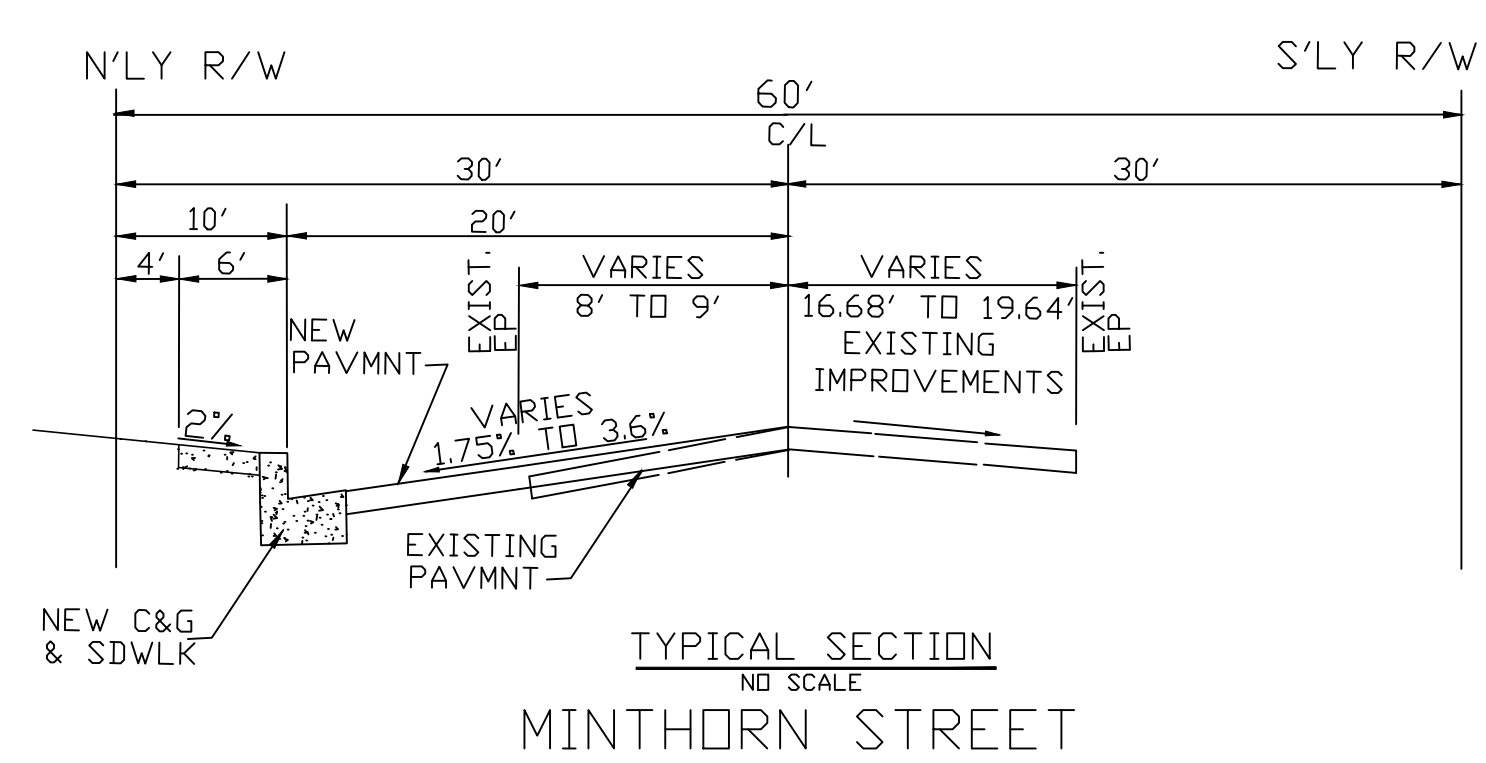
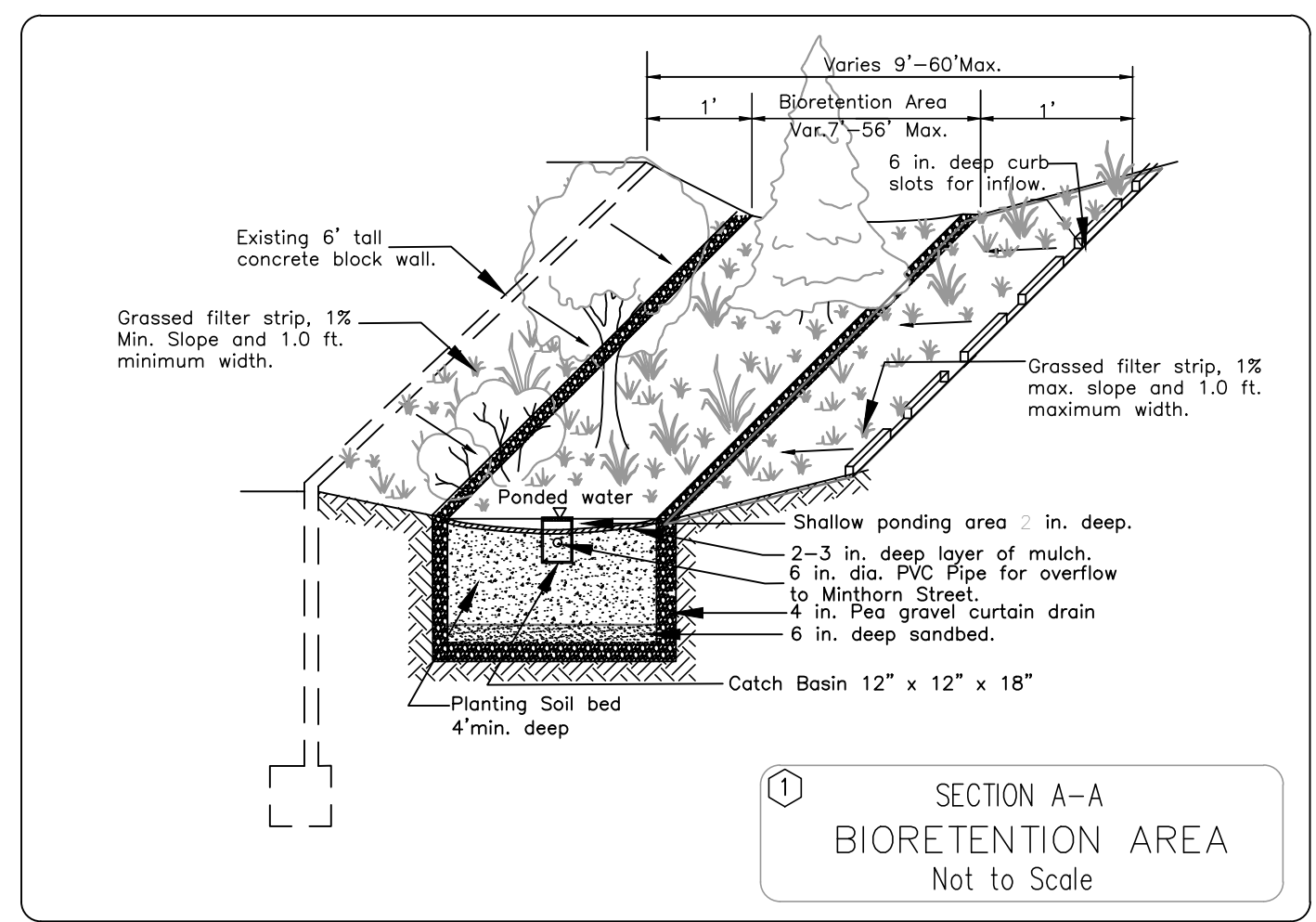
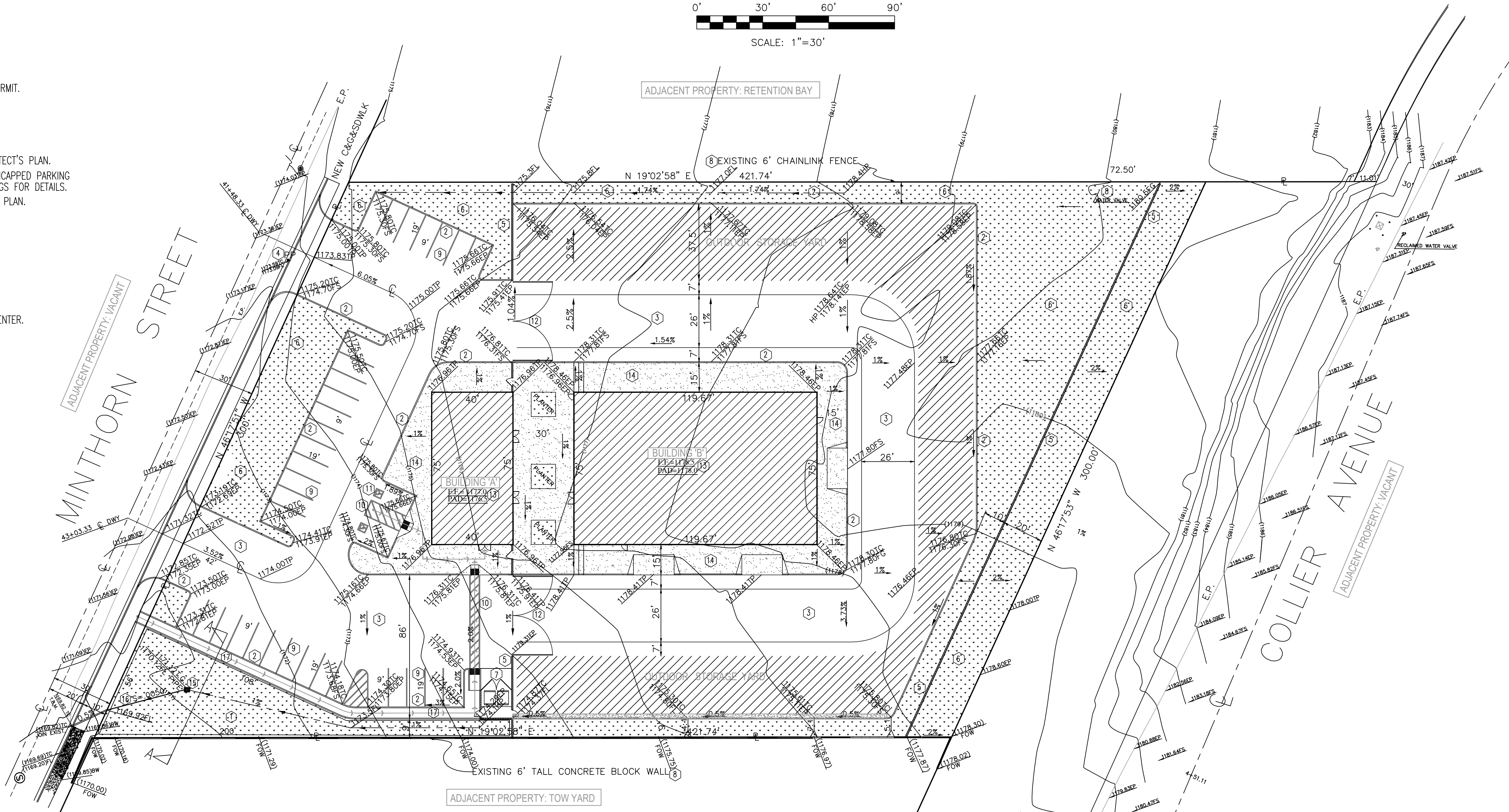
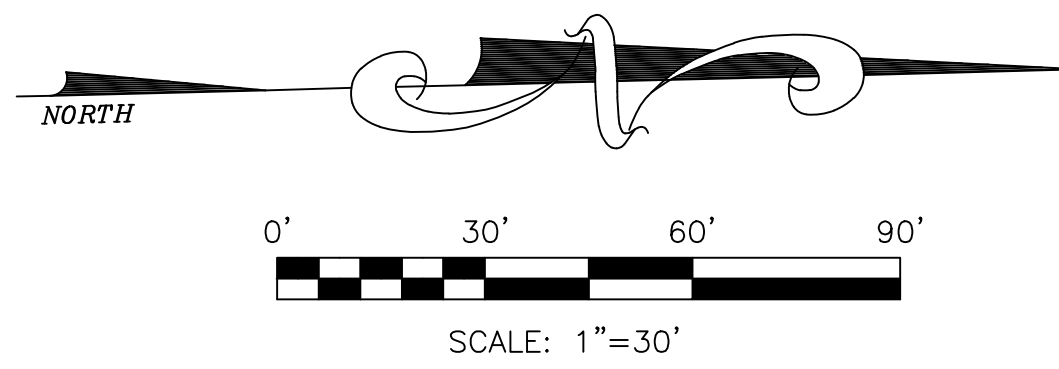
CONSTRUCTION NOTES AND ESTIMATED QUANTITIES:	QUANTITY	UNIT
1 CONSTRUCT BIORETENTION AREA = 4,154 S.F. X 2' DEPTH	4,154	S.F.
2 CONST 6" CURB TYPE "D" PER COUNTY STD. NO. 204	600	L.F.
3 CONST. 4" A/C W/ SEAL COAT OVER 8" AGGREGATE BASE CLASS 2 (SECTION MAYBE ALTERED BY SOILS ENGINEER AFTER ROUGH GRADING)	44,760	S.F.
4 RELOCATE EXISTING POWER POLE.	1	E.A.
5 CONSTRUCT 8" HIGH BLOCKWALL FENCE BY OTHERS AND SEPARATE PERMIT.	450	L.F.
6 INSTALL LANDSCAPING PER LANDSCAPE ARCHITECT'S PLAN	19,805	S.F.
7 CONSTRUCT TRASH ENCLOSURE PER ARCHITECT'S PLAN.	1	E.A.
8 PROTECT EXISTING BLOCKWALL, CHAINLINK FENCE AND WATER VALVE.	LUMP SUM	
9 INSTALL 4" WIDE STRIPPED PARKING STALLS PER CITY STD. AND ARCHITECT'S PLAN.	460	L.F.
10 INSTALL 4" WIDE 45 DEGREE STRIPPING AT 36" O.C. TO DENOTE HANDICAPPED PARKING AISLE AND ACCESS FROM WALK TO BUILDING. SEE ARCHITECT DRAWINGS FOR DETAILS.	1	E.A.
11 INSTALL HANDICAPPED PARKING SIGNS PER CITY STD. AND ARCHITECT'S PLAN.	1	E.A.
12 INSTALL 40' POWER GATES BY OTHERS.	3	E.A.
13 REFER TO ARCHITECT'S PLAN FOR BUILDING AND OTHER DETAILS.	LUMP SUM	
14 CONSTRUCT 4" PCC CONCRETE APRON OVER PREPARED BASE.	10,125	S.F.
15 CONSTRUCT 12" X 12" CATCH BASIN FOR DRAINAGE OVERFLOW.	1	E.A.
16 CONSTRUCT 6" PVC PIPE AT S=.0050 MIN.	35	L.F.
17 PROVIDE 6" DEEP CURB SLOTS FOR INFLOW AT EVERY 15' MAX. ON CENTER.	LUMP SUM	


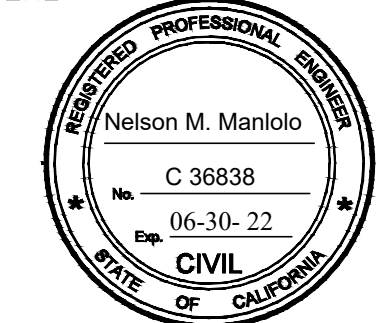
MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY: 	SEAL 	NM Civil Engineering, Inc. 22880 Van Buren Street Grand Terrace, CA 92313 (951) 712-0623 NM.PE@maniolo.com	CITY OF LAKE ELSINORE	SHEET 1
					1-20-2023		SCALE: 1' = 30'	PRECISE GRADING PLAN	OF 2 SHEETS
				REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	DATE		BENCH MARK: E 307 1.9 miles north along Hwy 74 from the AT&SF Railway station at Elsinore, Riv. Co. at the junction of Hwy 74 station in the triangle formed by the junction on the AT&SF Railway R/W. Date: 1935 ELEV= 1174.889	TITLE SHEET	FILE No.

PA-2021-22

CONSTRUCTION NOTES AND ESTIMATED QUANTITIES:

- 1 CONSTRUCT BIORETENTION AREA = 4,154 S.F. X 2' DEPTH
- 2 CONST 6" CURB TYPE "D" PER COUNTY STD. NO. 204
- 3 CONST. 4" A/C W/ SEAL COAT OVER 8" AGGREGATE BASE CLASS 2 (SECTION MAYBE ALTERED BY SOILS ENGINEER AFTER ROUGH GRADING)
- 4 RELOCATE EXISTING POWER POLE.
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PA-2021-22

Flowering Deciduous Canopy (street tree)

Botanical name: Lagerstroemia hybrid 'Natchez'
Common Name: Natchez Crape Myrtle
 Broad dome summer flowering deciduous trees to provide shade and color with fine crape paper like white flowers, and orange-red autumn foliage color. Non-invasive root system to protect adjacent curbs and paving. Medium to low water requirements, long lived tree with an attractive bark color of rose tan shades and ease of maintenance. Paired with lavender Lantana groundcover along the main entry. A hardy colorful pest free plant that is drought tolerant.

Flowering Deciduous Shade Canopy

Botanical name: Lagerstroemia hybrid 'Tuscarora'
Common Name: Muskogee Crape Myrtle
 Broad dome summer flowering deciduous trees to provide shade, light red flowers, orange red autumn foliage color. Non-invasive root system to protect adjacent curbs and paving. Medium to low water requirements, long lived tree and ease of maintenance. Paired with Pidgeon Point Coyote Brush groundcover (Native) with continuous with medium green foliage and low maintenance and drought resistant.

Broad Dome Flowering Canopy

Botanical Name: Chitalpa tashkentensis
Common Name: Pink Dawn Chitalpa
 Deciduous desert tough, flowering tree with yellow-pink trumpet flowers. Spring to Fall color. Drought resistant, pest-free, good shade cover, on a decomposed granite (Palm Springs Gold) ground cover.

Evergreen Flowering Canopy

Botanical Name: Pyrus Kawakamii
Common Name: Evergreen Pear
 Evergreen flowering tree with medium green oval glossy leaves. Spring to Fall color on a dome shaped canopy. A welcome sight after Winter with masses of white flowers in Winter and Spring. Long lived tree that offers shade and beauty all year long. With lavender Lantana groundcover and fortnight lilies.

Evergreen Domed Screen Tree

Botanical Name: Quercus ilex
Common Name: Holly Oak
 Max Mature Tree Height: 45-60 ft. tall Evergreen dense, rounded head with smooth gray bark, drought tolerant, fast growing. Good evergreen street tree deep roots will not damage sidewalks. With Pidgeon Point Coyote brush groundcover understory (native).

Evergreen Shade Canopy

Botanical name: Cupaniopsis anacardioides
Common Name: Carrotwood Tree
 Shiny medium green compound leaf. Will provide shade, leaf color and parking lot screening. Medium size tree, drought tolerant once established. Requires little water but can stand wet soil. "Low Boy" Acacia groundcover to provide a carefree long lived drought tolerant blue-green carpet groundcover on decomposed granite to reduce water use and maintenance.

Plant Legend

Symbol	Botanical Name	Common Name	Size	WUCOLS
(T-C) Trees				
T-CT	Chitalpa tashkentensis "Pink Dawn"	Pink Dawn Chitalpa	24" Box	L
T-CA	Cupaniopsis anacardioides	Carrotwood	24" Box	L
T-L	Lagerstroemia hybrid "Tuscarora"	Crape Myrtle (Light Red)	24" Box	M
T-L	Lagerstroemia hybrid "Natchez"	Crape Myrtle (White)	24" Box	M
T-S	Pyrus Kawakami	Evergreen Pear	36" box	L
T-Q	Quercus ilex	Holly Oak	24" Box	L

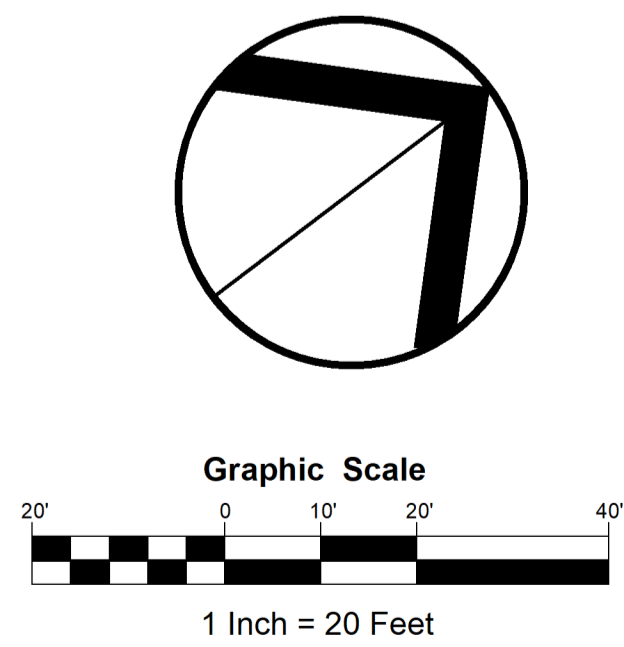
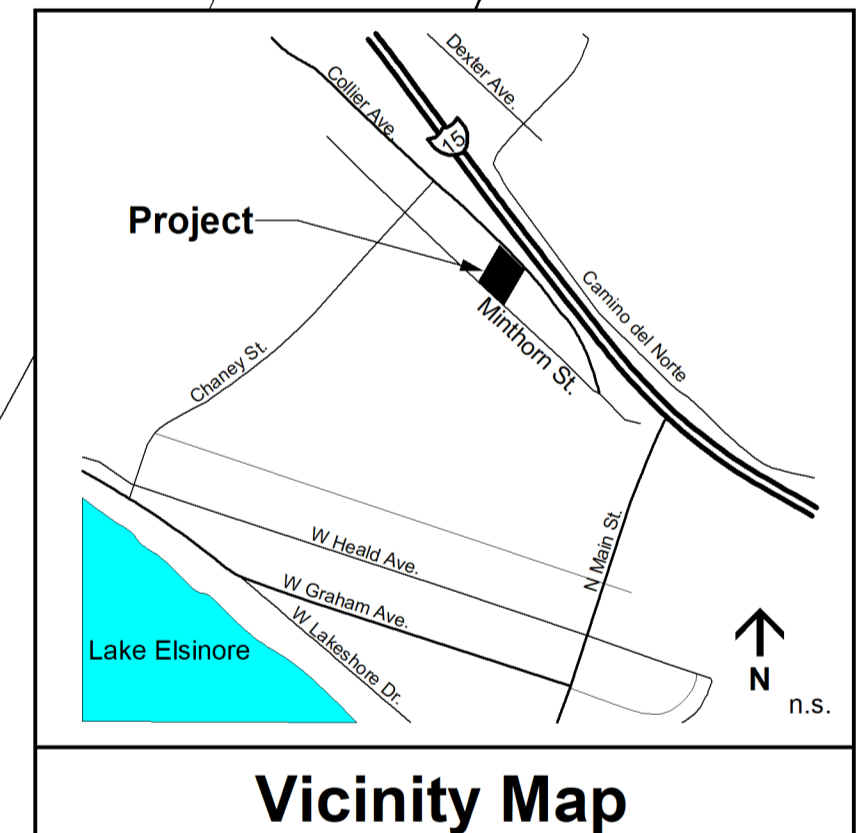
Plant Legend (cont.)

Symbol	Botanical Name	Common Name	Size	WUCOLS
(D) Shrubs				
D	Diets iridioides "John's Runner"	African Lily	5 gal.	M
L	Lantana x "Confetti"	Lantana	1 gal.	L
R	Rosmarinus officinalis "Tuscan"	Tuscan Rosemary	5 gal.	M
W	Westringia "Blue Gem"	Blue Gem Coast Rosemary	5 gal.	L
(V-M) Vines				
V-M	Macfadyena unguis-cati "Note: #1"	Cat's Claw Vine 30' o.c.	1 gal.	L
(G-A) Groundcover				
(G-A)	Acacia redolens "Low Boy"	Acacia	1 gal.	L
(G-B)	Baccharis pilularis "Pidgeon Point"	Coyote Brush	1 gal.	L
G-LC	Lantana x "Gold Rush"	Gold Lantana 3' o.c.	1 gal.	L
G-L	Lantana montevidensis	Purple Lantana 3' o.c.	1 gal.	L
G-DG	Decomposed Granite (DG) Palm Springs Gold	2" layer see note #1	CY	-

Note #1- DG over weed free fabric on compacted base.

LANDSCAPE COVERAGE CALCULATION:

Landscape Area Provided Per Zone (see Sht. A1.00 For Zone References)
 -Landscape Requirements Per Lake Elsinore Municipal Code Sec. 17.140.100.c
 Zone No. Area
 1 1,956 SF
 2 13,414 SF
 3 6,000 SF
 4 4,931 SF
 5 3,618 SF
 Total Provided: 29,919 Sf / 114,989 = 26%
 Total Required: 12%
Total Internal Parking area= 19,473 x .05 (5%)=974 required. 5,883 s.f. provided



Landscape Concept Plan

REVISIONS	
DATE:	BY:
11-15-2022 Concept REV	LS
Reorientation of building.	
1-23-2023 Concept REV	LS
change tree on East side to Evergreen Holly Oak, reduce parking spaces, increase landscaping, landscape coverage calculation.	

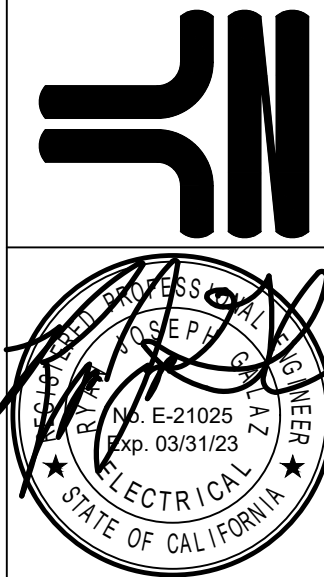
Owner(s):
Collier Commercial Properties
 Leslie Hamud
 (949) 275-8880

Project:
Collier Commercial Properties
 29400 Enterprise Way
 Lake Elsinore, CA 92530
 APN: 377-190-002, -003, -004

Sheet Title:
LANDSCAPE CONCEPT PLAN

Job: #1862106
Date: 02-15-2022
Scale: As Noted
Drawn: LS/KS
Reviewed by:
Sheet:
LC-1
Of: 1

Pacific Landscape Design
 Landscape Architects Lic. # 1931
 27031 Hoffman Ln Menifee, CA 92584
 T. (951) 821-8121 C. (951) 331-3339



DATE: 09/13/2022

RIVERSIDE ENGINEERING GROUP
ELECTRICAL-MECHANICAL-PLUMBING-POOR SERVICE/DESIGN
19521 Jerrilyn Lane, CA 92546
Phoning (951) 376-7135
ginadbrown@secglobal.net

COLLIER COMMERCIAL PROPERTIES
APN: 377-190-003,004
LAKE ELSINORE, CA 92530
(951) 205-6411

DATE: 10/14/2022

SCALE: as noted

DRAWN: R.Galaz

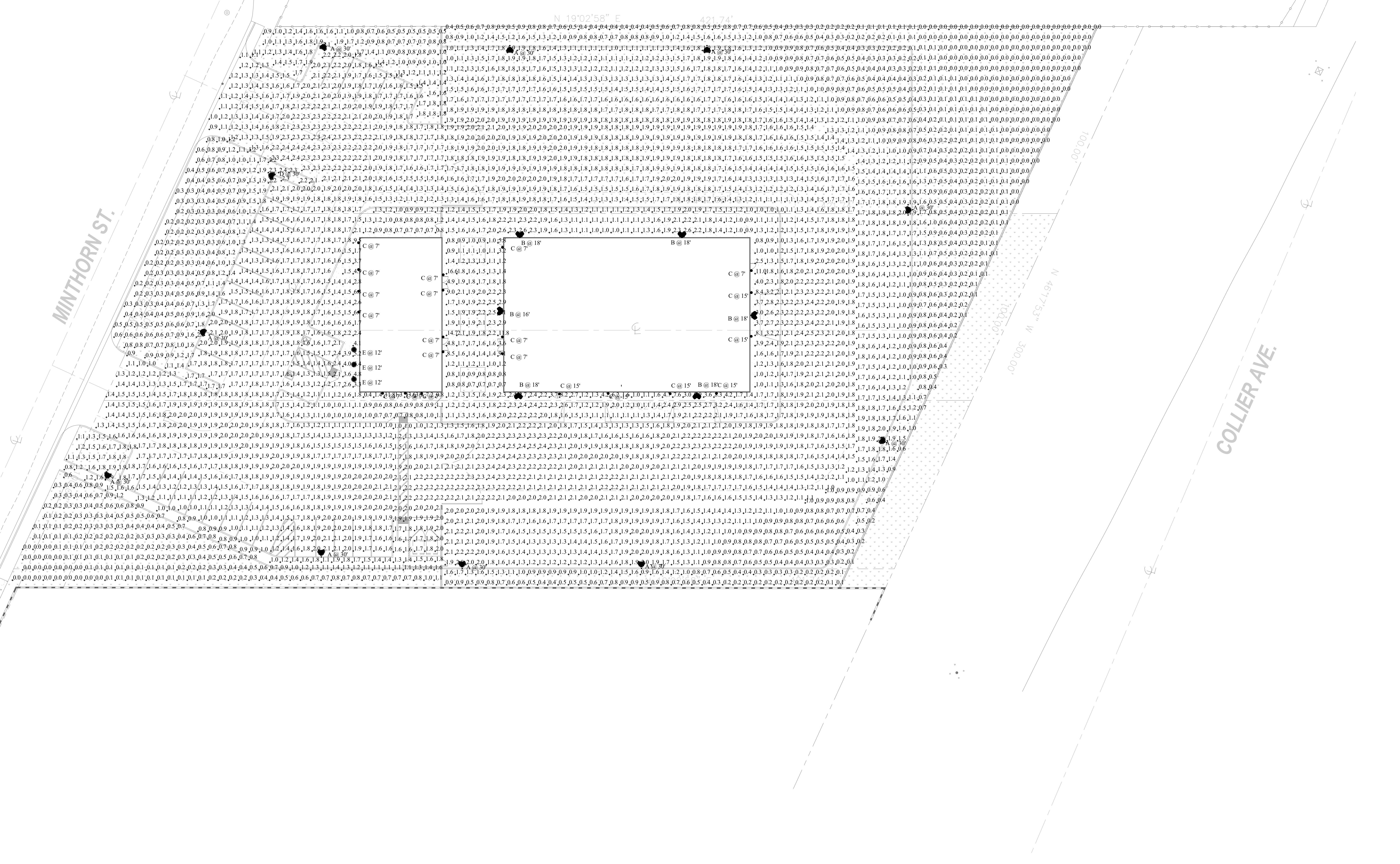
JOB: 220802

SHEET:

E-1.1

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Quantity	Notes
□	A	18	Lithonia Lighting	DNSI LED PS 30K TFFM MVOLT IS	DNSI LED PS 30K TFFM MVOLT 40W recessed deck	18	
□	B	6	Lithonia Lighting	DNSI LED DC 1000 30K TFFM MVOLT	DNSI LED WITHLED 1000 WATT LED LIGHT ENGINEER TYPE TFFM OFFIC. 3000K, 60° beam	6	
○	C	21	Lithonia Lighting	OLWLD LED PFK MVOLT	OUTDOOR LED WALL CYLINDER DOWN LIGHT 4.00W, 3000K, 27°C	21	
□	D	1	Lithonia Lighting	DNSI LED PS 30K TFFM MVOLT	DNSI LED PS 30K TFFM MVOLT	1	
○	E	3	Lithonia Lighting	OLCFM 15 WH	GENERAL PURPOSE LED CAST FLUSH MOUNT WITH WIRE TRIM	3	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Driveway	+	1.8 fc	2.5 fc	1.0 fc	2.5:1	1.8:1
Landscape	+	1.6 fc	1.9 fc	1.1 fc	1.7:1	1.5:1
Landscape	+	1.2 fc	1.9 fc	0.5 fc	3.8:1	2.4:1
Landscape	+	0.8 fc	2.4 fc	0.2 fc	12.0:1	4.0:1
Landscape	+	0.4 fc	1.6 fc	0.0 fc	N/A	N/A
Landscape	+	0.4 fc	1.9 fc	0.0 fc	N/A	N/A
Outdoor Storage Yard	+	1.4 fc	2.2 fc	0.1 fc	22.0:1	14.0:1
Parking Lot	+	1.7 fc	2.4 fc	0.9 fc	2.7:1	1.9:1
Pedestrian Walkway	+	2.1 fc	16.6 fc	0.7 fc	23.7:1	3.0:1
Pedestrian Walkway	+	2.0 fc	13.6 fc	0.4 fc	34.0:1	5.0:1
Trash Enclosure	+	1.9 fc	2.1 fc	1.5 fc	1.4:1	1.3:1
Walkway	+	1.4 fc	2.2 fc	0.8 fc	2.8:1	1.8:1

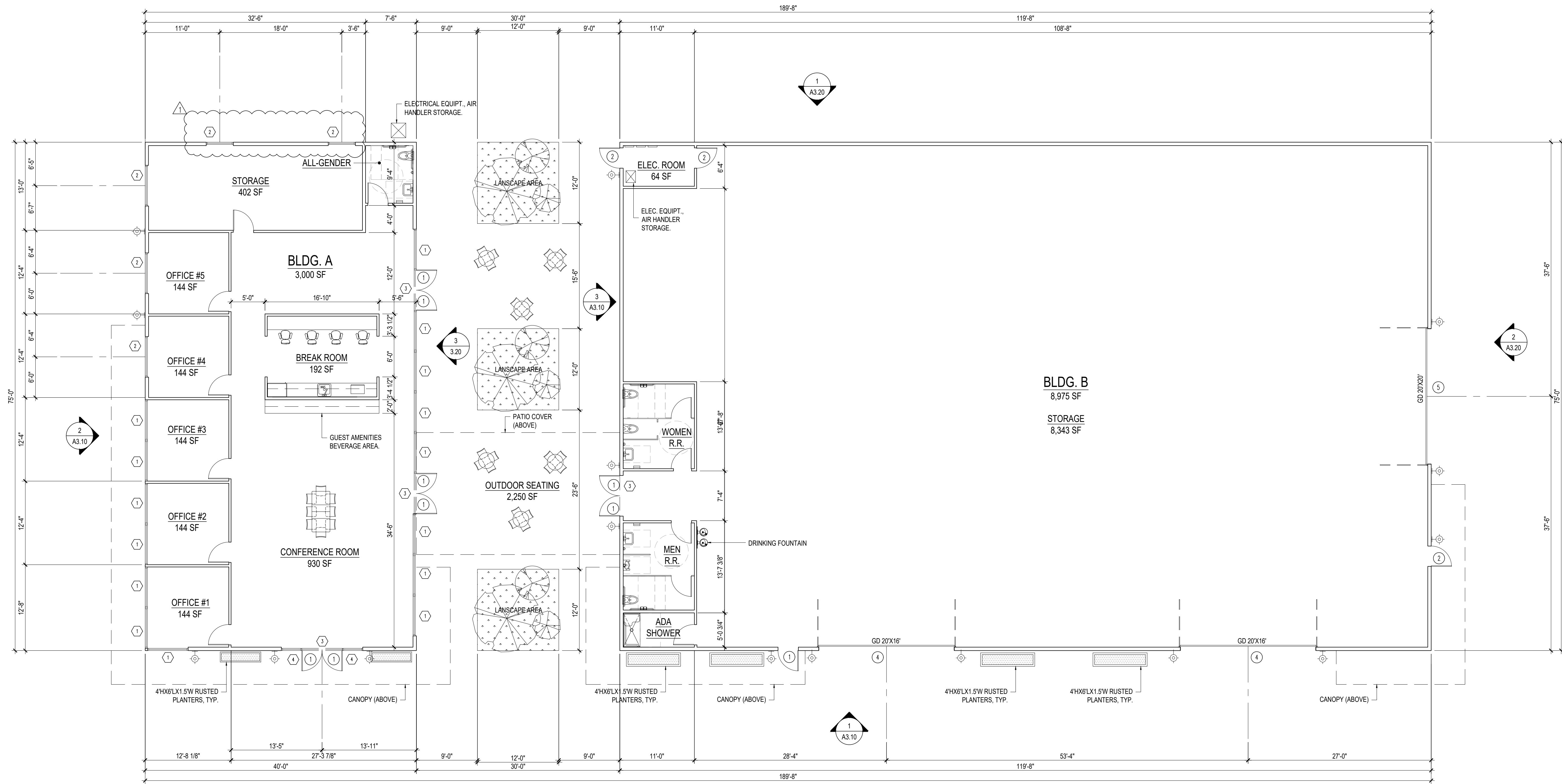


ELECTRICAL SITE LIGHTING PHOTOMETRIC

1"=20'-0" 1

NOTICE: The designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Jonathan L. Zane, Architect. These designs may not be used for any other purpose whatsoever or reproduced without the written consent of Jonathan L. Zane, Architect.

1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



DOOR SCHEDULE

ID	SIZE	TYPE/HARDWARE
1	3'-0" X 8'-0"	STOREFRONT DOOR W/ DOOR PULL HARDWARE
2	3'-0" X 8'-0"	HOLLOW METAL W/ LEVER HARDWARE
3	3'-0" X 8'-0"	HOLLOW CORE W/ LEVER HARDWARE
4	20'-0" X 16'-0"	ROLL-UP DOOR
5	20'-0" X 20'-0"	ROLL-UP DOOR
6	3'-0" X 7'-0"	HOLLOW METAL WITH LEVER HARDWARE
7	6'-0" X 7'-0"	TEMPERED GLASS AUTOMATIC SLIDING DOOR

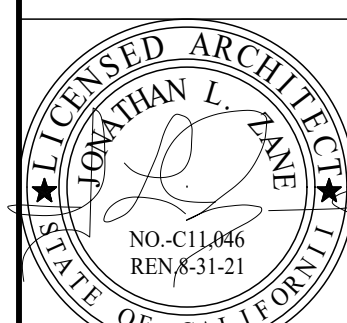
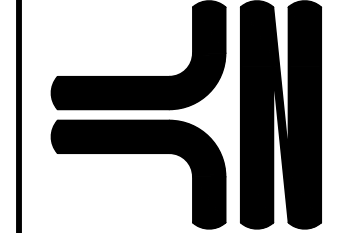
WINDOW SCHEDULE

ID	SIZE (WXH)	REMARKS
1	6'-0" X 9'-0"	ALUM. GLASS STOREFRONT SYSTEM
2	6'-0" X 2'-0"	ALUMINIUM WINDOW - FIXED.
3	6'-0" X 3'-0"	ALUM. GLASS STOREFRONT SYSTEM
4	3'-0" X 12'-0"	ALUM. GLASS STOREFRONT SYSTEM
5	4'-0" X 2'-0"	ALUMINIUM WINDOW - FIXED.

REVISIONS

DATE:	BY:

ZANE ARCHITECTURE
 JONATHAN L. ZANE, ARCHITECT - CA. LIC. #C-11,046
 5033 ARLINGTON AVE. #A2
 RIVERSIDE, CA 92504 (951) 376-1073

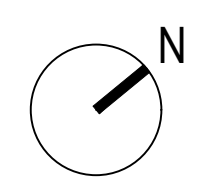


DATE: 02/05/2020
 SUBMITTALS
 DATE: PHASE
 09.28.22 PLANNING
 01.11.23 PLANNING

COLLIER COMMERCIAL PROPERTIES
 APN: 377-190-002, 003, 004
 LAKE ELSINORE, CA 92530
 (951) 205-6411

APPLICABLE CODES:
 2022 C.C.C. 2019 C.A.C.
 2022 C.C.C. 2019 C.A.C.
 2022 C.C.C. 2019 C.F.C.
 2022 Cal. Green B.S.
 2022 Cal. Energy Code
 2022 Cal. Title 24
 LAKE ELSINORE MUNICIPAL CODE
 All relevant local and state administrative codes and all relevant local and state administrative codes.

DATE: 09/14/2022
 SCALE: AS NOTED
 DRAWN: MG
 JOB: -
 SHEET: **A2.10**



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3 FRONT ELEVATION (SOUTH) - BLDG 'B'
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION (SOUTH) - BLDG 'A'
SCALE: 1/8" = 1'-0"

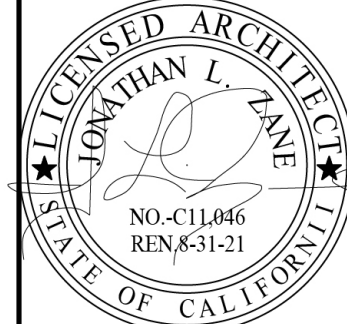


1 RIGHT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

COLOR AND MATERIAL LEGEND			
MARK	MATERIAL	COLOR/SPEC.	REMARKS
1	EIJS / STUCCO FINISH BY: DRYVIT	COLOR: DUNN-EDWARDS "DOLPHIN TALES" DE1600	--
2	STANDING SEAM METAL ROOF BY: ASC BUILDING PRODUCTS	SLATE GREY/ DESIGN SPAN HP	FACTORY APPLIED COLOR
3	WINDOWS AND STOREFRONT BY: ARCADIA OR EQUAL	COLOR TO MATCH DUNN-EDWARDS - DE6322	FACTORY APPLIED COLOR
4	EXTERIOR DOORS AND OVERHEAD DOOR	COLOR TO MATCH DUNN-EDWARDS - DE6322	FACTORY APPLIED COLOR
5	METAL CANOPY	COLOR TO MATCH DUNN-EDWARDS - DE6322	--
6	METAL PLANTERS BY: TBD	FINISH: CHARCOAL	SIZE PER PLANS
7	OUTDOOR WALL LIGHT BY: TECH LIGHTING OR EQ.	FINISH: CHARCOAL	12" HIGH INTEGRATED LED WALL SCONCE
8	STONE VENEER - SPLIT FACE BY: EL DORADO	CANNONDE (GREY) CUT COARSE STONE	--

REVISIONS	
DATE:	BY:

ZANE ARCHITECTURE
 JONATHAN L. ZANE, ARCHITECT - CA, LIC. #C-11,046
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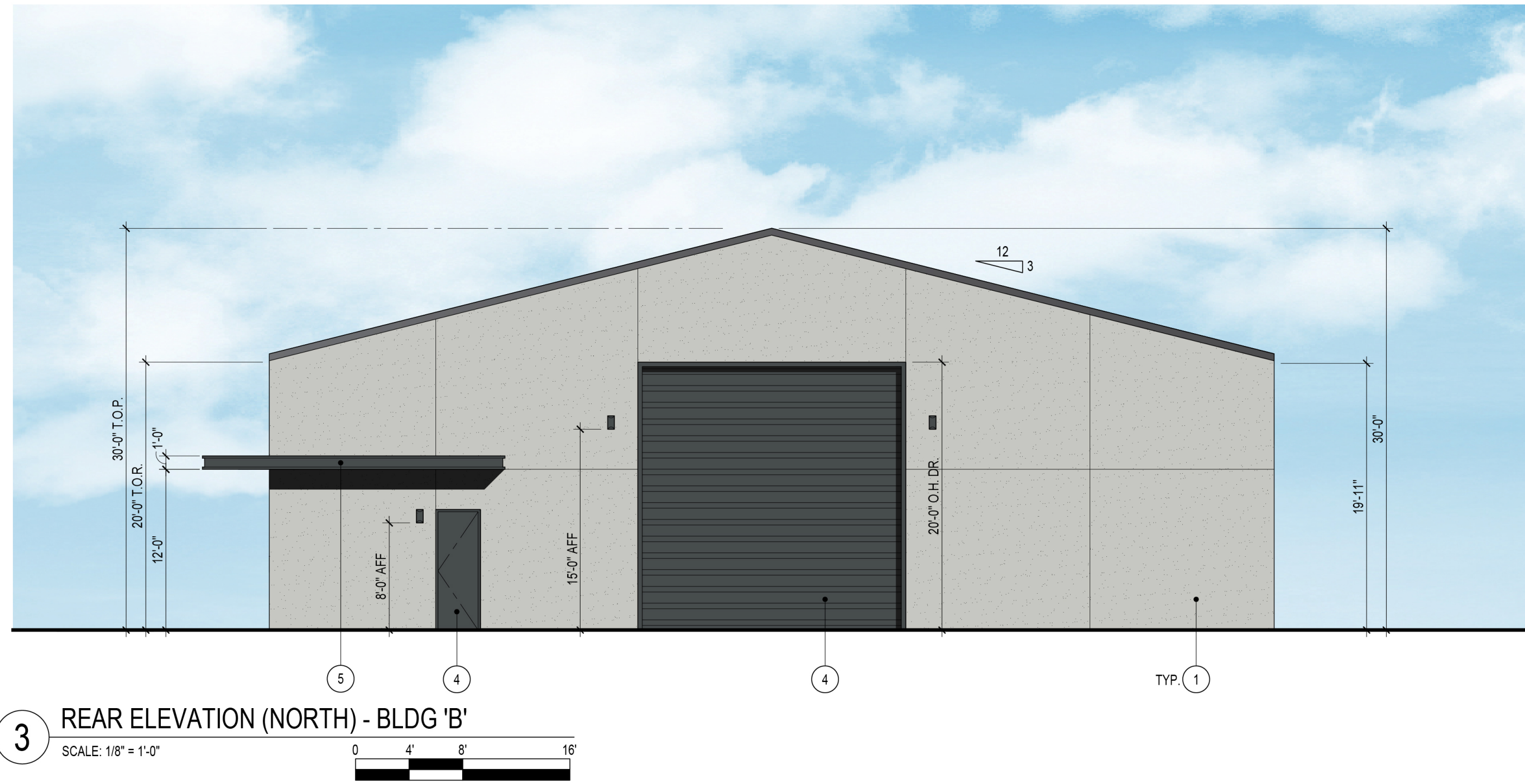
DATE:	02/05/2020
DATE:	PHASE
09.28.22	PLANNING
01.11.23	PLANNING

COLLIER COMMERCIAL PROPERTIES
 APN: 377-190-002, 003, 004
 LAKE ELSINORE, CA 92530
 (951) 205-6411

APPLICABLE CODES:
 2022 C.C.C. 2019 C.L.C.
 2022 C.C.C. 2019 C.L.C.
 2022 C.C.C. 2019 C.F.C.
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 2022 Cal. Energy Code
 2022 Cal. Title 24
 LAKE ELSINORE MUNICIPAL CODE
 All relevant local and state administrative codes and
 all relevant local and state administrative codes.

DATE: 09/14/2022
 SCALE: AS NOTED
 DRAWN: MG
 JOB: --
 SHEET: **A3.10**

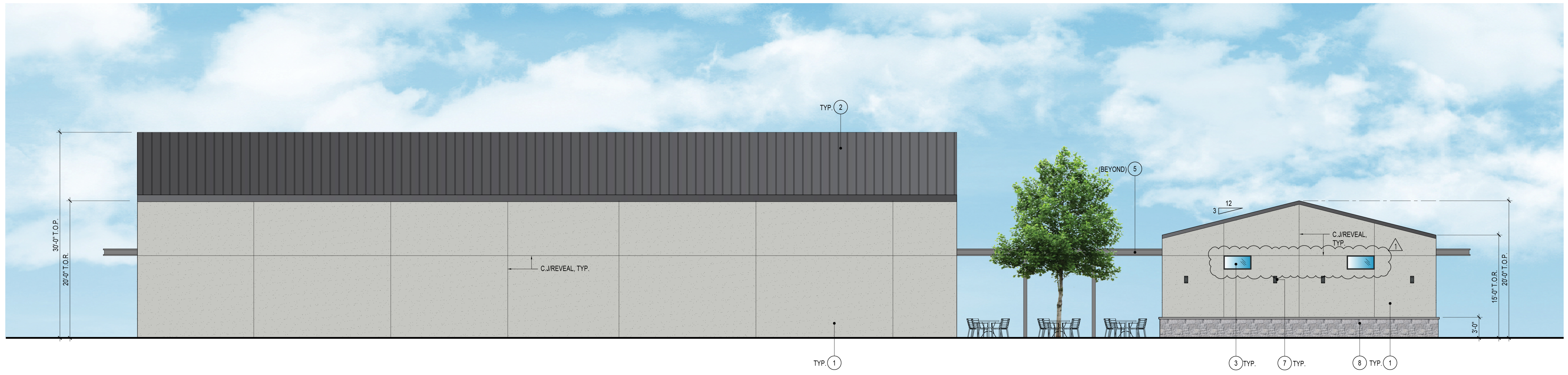
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3 REAR ELEVATION (NORTH) - BLDG 'B'
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



2 REAR ELEVATION (NORTH) - BLDG 'A'
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



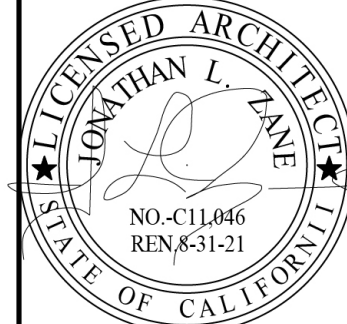
1 LEFT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

COLOR AND MATERIAL LEGEND			
MARK	MATERIAL	COLOR/SPEC.	REMARKS
1	EIJS / STUCCO FINISH BY: DRYVIT	COLOR: DUNN-EDWARDS "DOLPHIN TALES" DE1600	--
2	STANDING SEAM METAL ROOF BY: ASC BUILDING PRODUCTS	SLATE GREY/ DESIGN SPAN HP	FACTORY APPLIED COLOR
3	WINDOWS AND STOREFRONT BY: ARCADIA OR EQUAL	COLOR TO MATCH DUNN-EDWARDS - DE6322	FACTORY APPLIED COLOR
4	EXTERIOR DOORS AND OVERHEAD DOOR	COLOR TO MATCH DUNN-EDWARDS - DE6322	FACTORY APPLIED COLOR
5	METAL CANOPY	COLOR TO MATCH DUNN-EDWARDS - DE6322	--
6	METAL PLANTERS BY: TBD	FINISH: CHARCOAL	SIZE PER PLANS
7	OUTDOOR WALL LIGHT BY: TECH LIGHTING OR EQ.	FINISH: CHARCOAL	12' HIGH INTEGRATED LED WALL SCONCE
8	STONE VENEER - SPLIT FACE BY: EL DORADO	CANNONDE (GREY) CUT COARSE STONE	--

NOTE: SEE SHEET A3.30 FOR MATERIAL SAMPLE BOARD

REVISIONS	
DATE:	BY:

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DATE:	PHASE
02/05/2020	PLANNING
09.28.22	PLANNING
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COLLIER COMMERCIAL PROPERTIES
 APN: 377-190-002, 003, 004
 LAKE ELSINORE, CA 92530
 (951) 205-6411

APPLICABLE CODES:
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 2022 C.C.C. 2019 C.F.C.
 2022 Cal. Green B.S.
 2022 Cal. Energy Code
 2022 Cal. Title 24
 LAKE ELSINORE MUNICIPAL CODE
 All new work shall conform to applicable codes and all existing work shall conform to applicable administrative codes.

DATE: 09/14/2022
 SCALE: AS NOTED
 DRAWN: MG
 JOB: --
 SHEET: **A3.20**

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8 STONE VENEER BY EL DORADO
 COLOR: CONNORDE (GREY)
 / CUT COARSE STONE



6 METAL PLANTERS
 COLOR: CHARCOAL



4 EXTERIOR AND OVERHEAD DOOR.
 COLOR: TO MATCH 'DE6322'



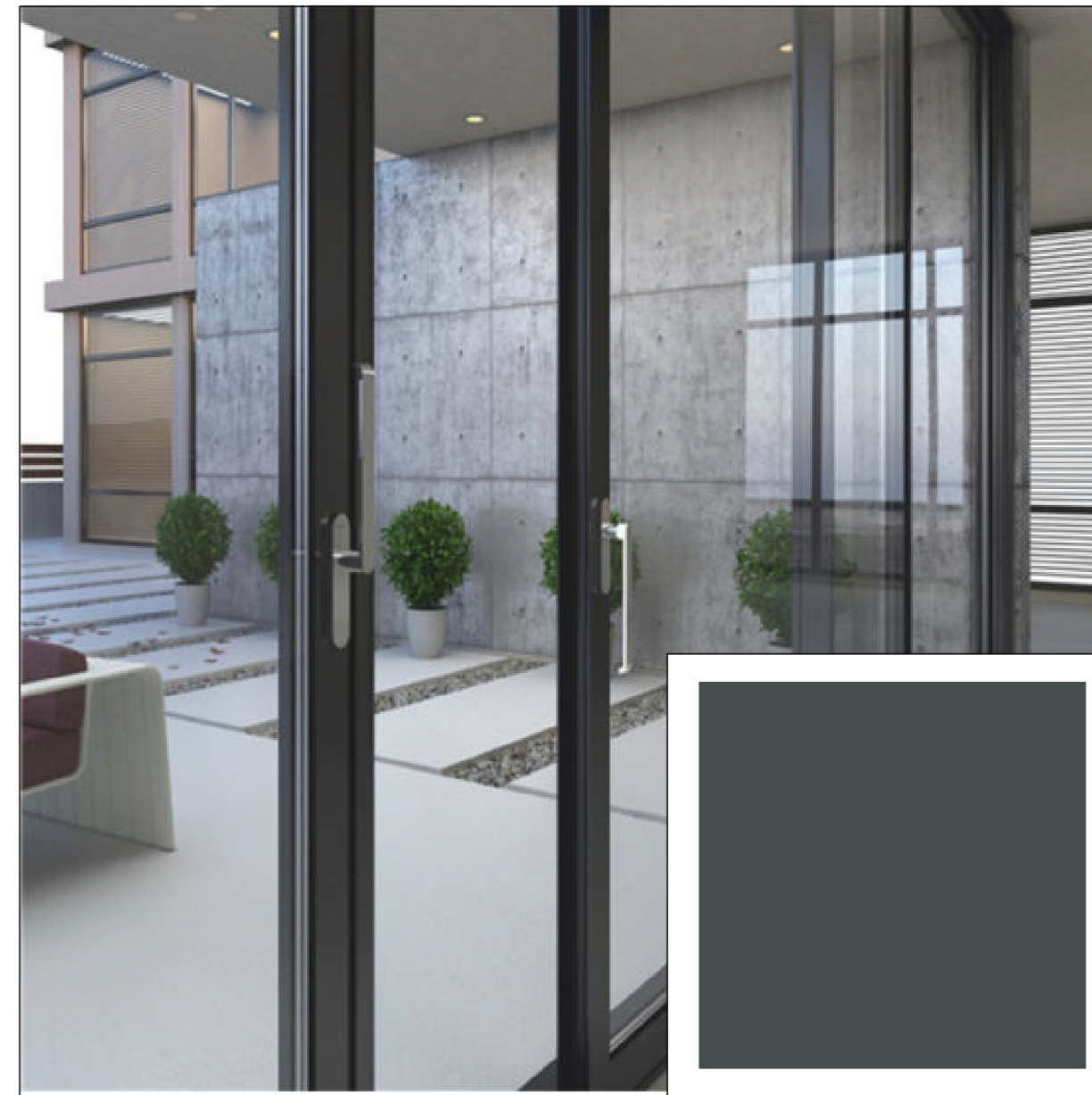
2 STANDING SEAM METAL ROOF
 BY: ASC BUILDING PRODUCTS
 COLOR: SLATE GREY/ DESIGN SPAN HP



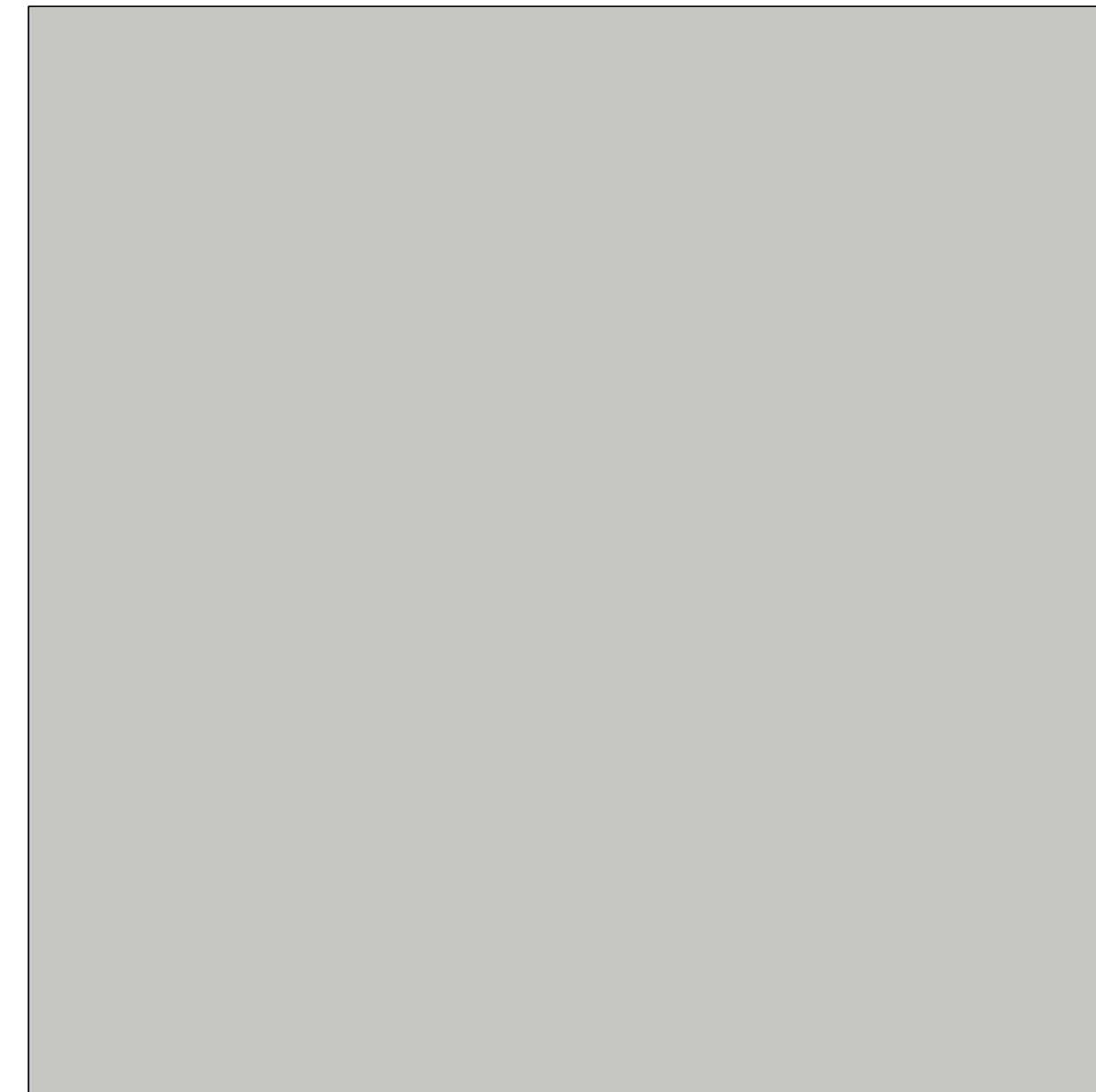
7 OUTDOOR WALL LIGHT
 BY: TECH LIGHTING OR EQ.
 COLOR: CHARCOAL



5 METAL CANOPY
 COLOR: TO MATCH 'DE6322'



3 WINDOWS & STOREFRONT
 COLOR: TO MATCH 'DE6322'



1 EIFS/STUCCO FINISH BY 'DRYVIT'
 COLOR: DUNN EDWARDS
 "DOLPHIN TALES" DET600

REVISIONS

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DATE: 09/14/2022
 SCALE: AS NOTED
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 JOB: -

SHEET:
A3.30